



PREPARED BY:

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SITE REVIEW DOCUMENTS FOR:

BOULDER CREEK COMMONS

5399 KEWANEE DRIVE AND 5697 S. BOULDER ROAD
LOCATED IN THE SW¼ OF SECTION 3 AND THE SE¼ OF SECTION 4,
T1S, R70W, 6TH P.M., COUNTY OF BOULDER, STATE OF COLORADO

ISSUE	DATE
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SITE REVIEW SUBMITTAL	06-18-12
SITE REVIEW #2 SUBMITTAL	11-05-12
SITE REVIEW #3 SUBMITTAL	12-21-12
SITE REVIEW #4 SUBMITTAL	02-25-13
FINAL SUBMISSION	03-29-13

DRAWING SCALE:
HORIZONTAL: AS SHOWN
VERTICAL: N/A

CHECKED BY: DTJ

DRAWN BY: DTJ

DESIGNED BY: DTJ

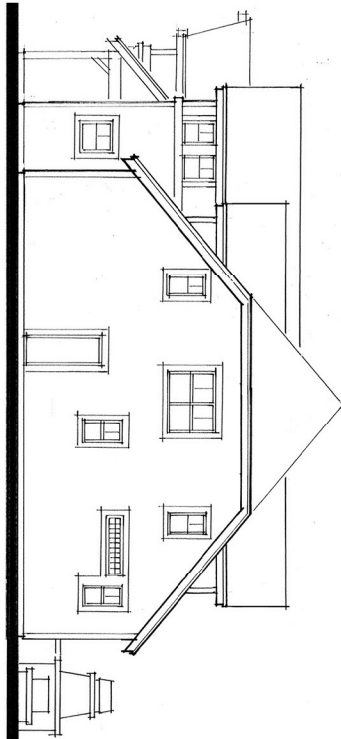
PROJECT NO. B1006

ARCHITECTURE

SINGLE FAMILY

A1

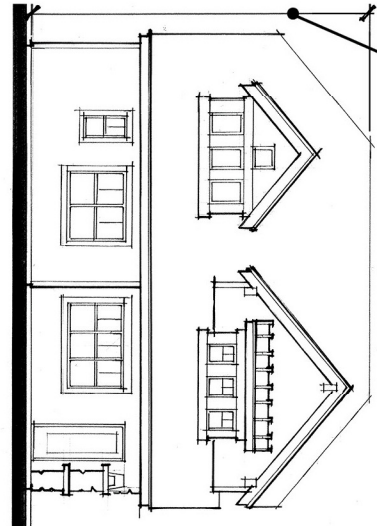
SHEET: 17 OF 36



RIGHT SIDE ELEVATION

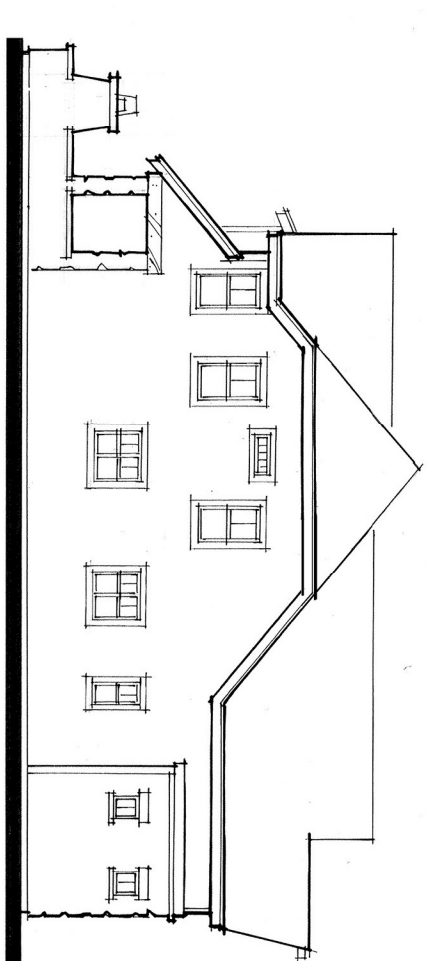
1/16" = 1'-0"

24'-6" Bldg. Ht. (Approximate)
35' max. per City of Boulder Land Use Code & City Charter



REAR ELEVATION

1/16" = 1'-0"



LEFT SIDE ELEVATION

1/16" = 1'-0"



FRONT ELEVATION

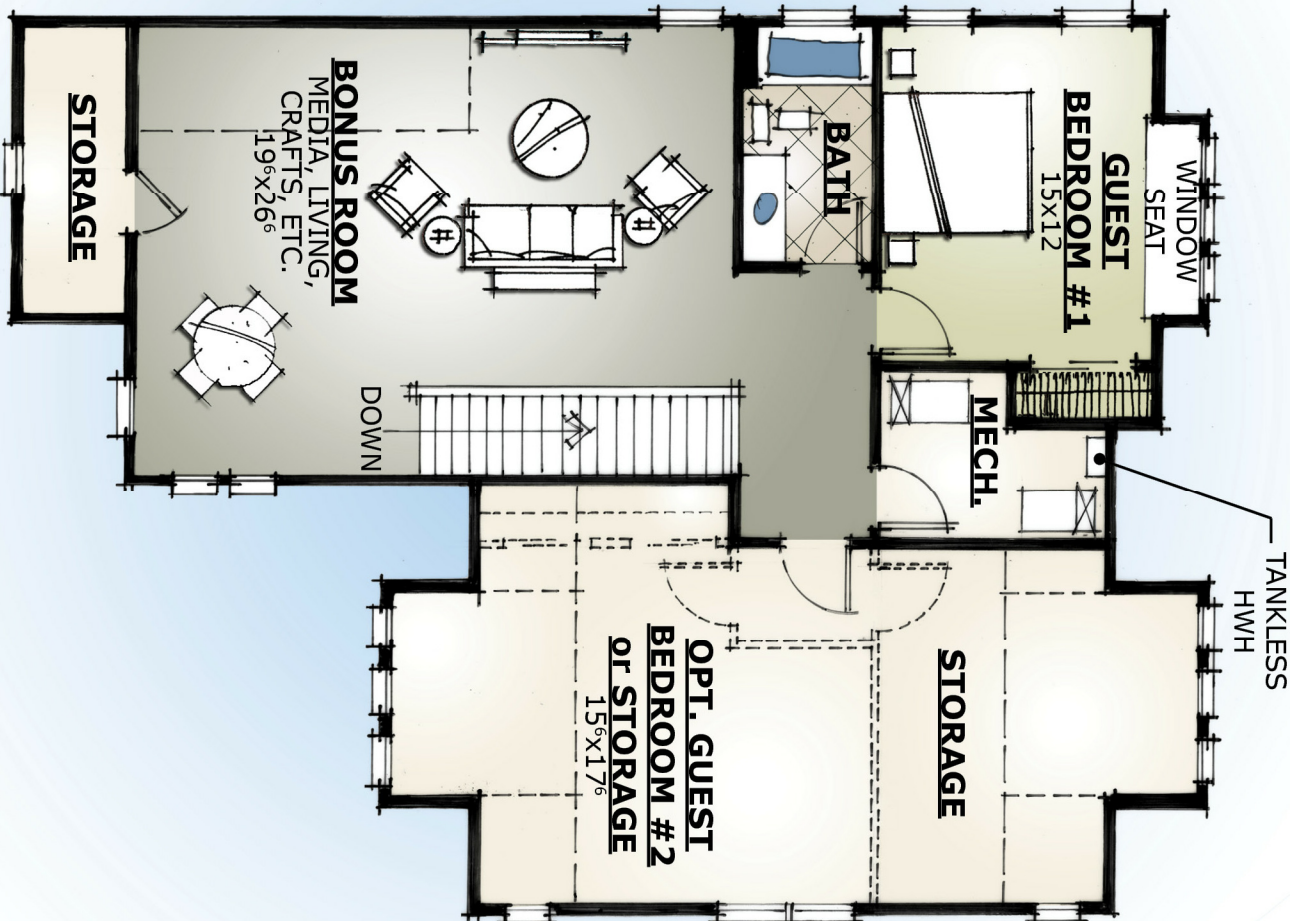
1/8" = 1'-0"

model a



UPPER FLOOR PLAN

1/8" = 1'-0"



Ease of Living Design features

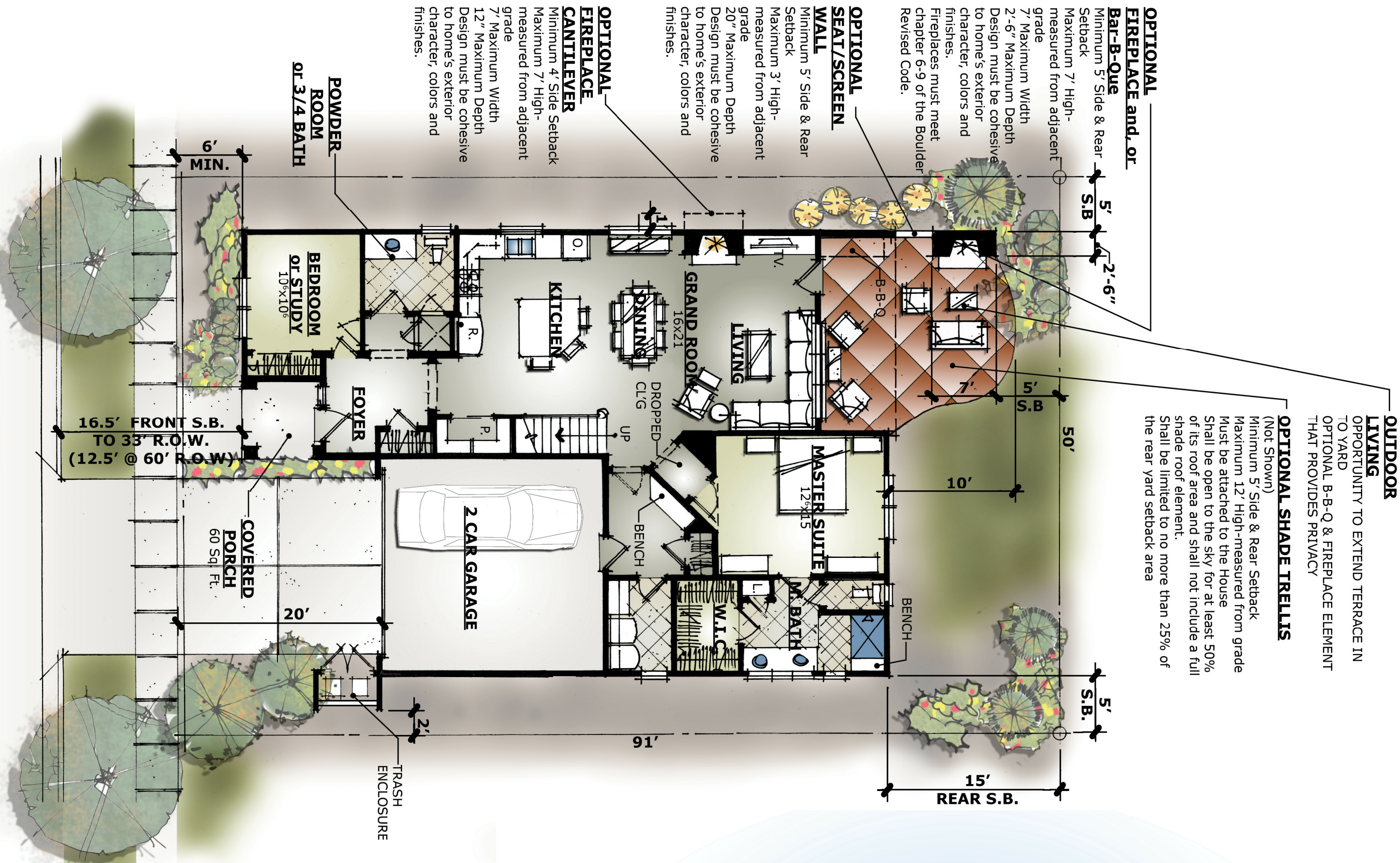
- Covered, step-less front door and garage entries.
- Covered rear terraces which extend into yards with optional lifestyle features (built in BBQ and Fireplace).
- Main floor master bedroom suite with walk-in closet and four piece bath controls with anti-scaid features.
- Master bath includes oversized shower with bench and ease of use shower doors to have lever hardware.
- Doors to rooms are all 3' - 0" wide with hallways that are 3' - 6" wide. All doors to have lever hardware.
- Storage on main floor: pantries, linen, and general.
- Owner's entries at garage door have a drop desk.
- Wall backing installed for future installation of grab bars if life deems necessary.
- Minimum hall walls to negotiate.
- Flex spaces that provide a study or a second bedroom suite on main floor.
- Interior path lighting. Enhanced task lighting.
- Optimized outlet and switch heights.
- Pull out drawer storage in kitchens.
- Comfort height toilets.
- Laundries close to master suite.
- 4 Parking spaces, (2 in garage & 2 on apron)

Model A

40' Wide
Main Level
Upper Level
Garage
Storage Space in Attic
Total
1,552 Sq. Ft.
856 Sq. Ft.
390 Sq. Ft.
669 Sq. Ft.
3,467 Sq. Ft.

SITE PLAN w/ MAIN FLOOR PLAN

1/8" = 1'-0"



OUTDOOR LIVING

OPPORTUNITY TO EXTEND TERRACE IN TO YARD
OPTIONAL BBQ & FIREPLACE ELEMENT THAT PROVIDES PRIVACY

OPTIONAL SHADE TRELLIS

(Not Shown)
Minimum 5' Side & Rear Setback
Maximum 12' High-measured from grade
Must be attached to the House
Shall be open to the sky for at least 50%
of the area covered by the shade trellis
Shade roof element shall not include a full shade roof element
Shall be limited to no more than 25% of the rear yard setback area

OPTIONAL FIREPLACE and/or Bal-B-Que

Setback
Minimum 5' Side & Rear
Maximum 7' High-measured from adjacent grade
Maximum Width 7'-6"
Maximum Depth 7'-6"
Design must be cohesive to home's exterior character, colors and finishes.
Fireplaces must meet chapter 6-3 of the Boulder Revised Code.

OPTIONAL SEAT/SCREEN WALL

Setback
Minimum 5' Side & Rear
Maximum 3' High-measured from adjacent grade
20" Maximum Depth
Design must be cohesive to home's exterior character, colors and finishes.

OPTIONAL FIREPLACE CANTILEVER

Setback
Minimum 5' Side Setback
Maximum 7' High-measured from adjacent grade
7' Maximum Width
12" Maximum Depth
Design must be cohesive to home's exterior character, colors and finishes.

POWDER ROOM or 3/4 BATH

6' MIN.

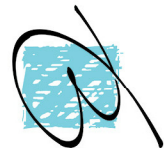
10'x10'

16.5' FRONT S.B. TO 33' R.O.W. (12.5' @ 60' R.O.W.)

COVERED PORCH 60 Sq. Ft.

20'

TRASH ENCLOSURE



BOULDER CREEK

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